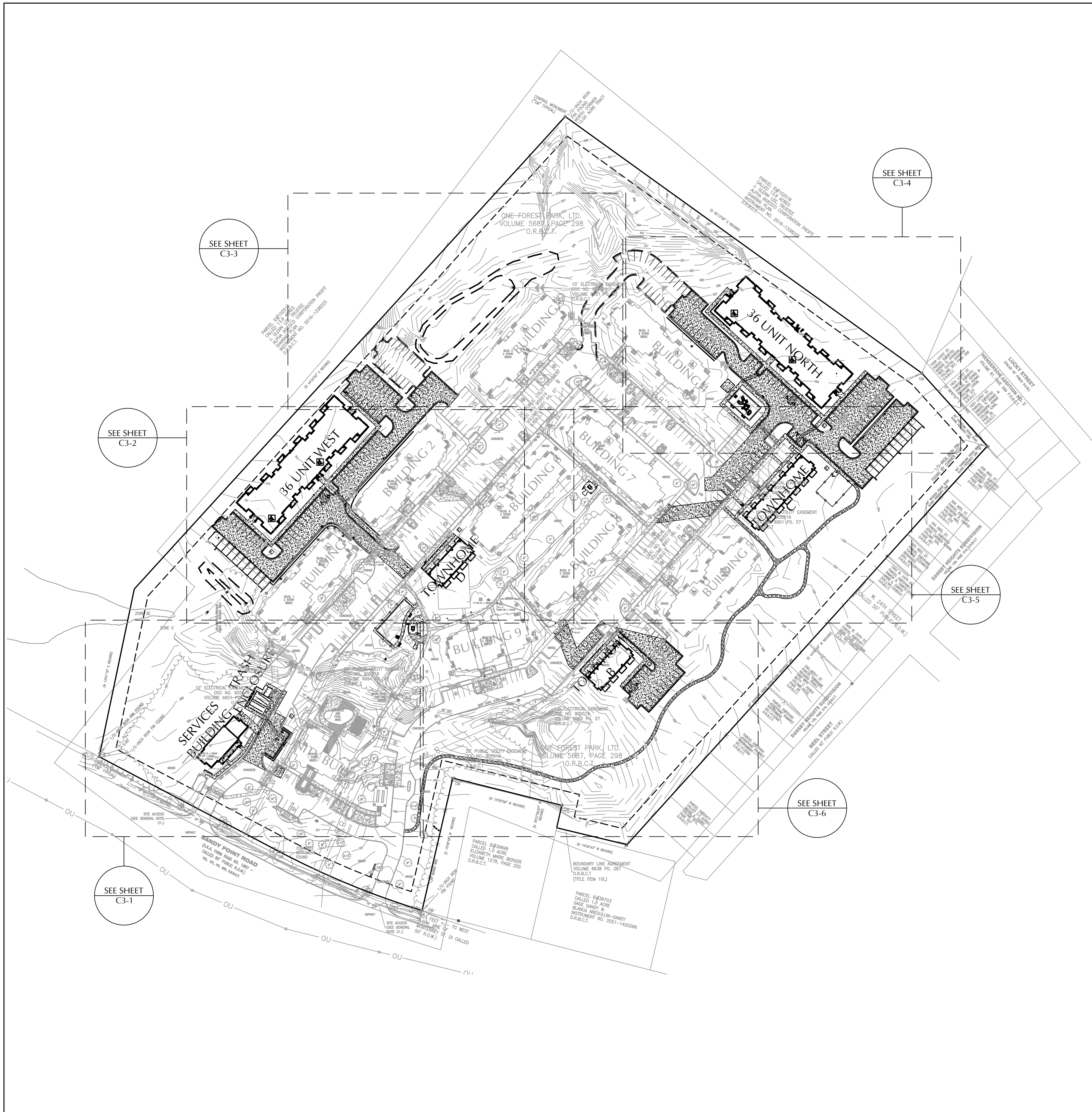
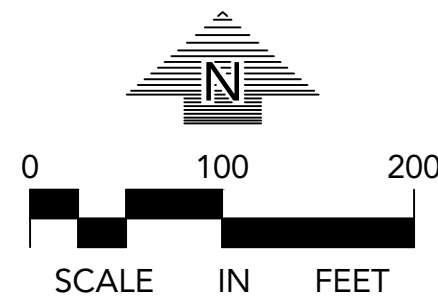


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NOTE:  
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**LEGEND**

- CATCH BASIN
- STORM MANHOLE
- FLARED END SECTION
- SANITARY MANHOLE
- HYDRANT
- GATE VALVE
- POST INDICATOR VALVE
- WATER MANHOLE / WELL
- LIGHT POLE
- POWER POLE
- ELECTRIC METER
- GAS METER
- TELEPHONE PEDESTAL
- SIGN
- BENCHMARK
- SOIL BORING
- PARKING STALL COUNT
- ACCESSIBLE PARKING STALL
- STORM SEWER
- DRAINTILE
- SANITARY SEWER
- FORCEMAIN
- WATERMAIN
- SANITARY SEWER SERVICE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTIC
- UNDERGROUND GAS
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- FENCE
- CHAIN LINK FENCE
- CONCRETE CURB
- RETAINING WALL
- CONCRETE
- NO PARKING
- BUILDING
- CONTOUR
- SPOT ELEVATION
- DIRECTION OF FLOW
- TREE LINE
- PARKING SETBACK LINE
- BUILDING SETBACK LINE
- HANDRAIL

**SURVEY LEGEND**

- BENCHMARK
- FOUND IRON PIPE
- FOUND IRON ROD
- FOUND CROSS
- FOUND ANCHOR
- FOUND COTTON PICKER SPINDLE
- SET IRON ROD
- CURB CUTS
- CONTROLLING MONUMENT
- TREE
- SPRINKLER CONTROL BOX
- WATER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER FAUCET
- MONITORING WELL
- BOREHOLE
- BOLLARD
- CABLE SPICE BOX
- COMMUNICATION MANHOLE
- COMMUNICATION SPICE BOX
- FIBER OPTIC SIGN
- GAS METER
- GAS VALVE
- GAS DRIP
- SIGN
- DOUBLE POST SIGN
- MAILBOX
- LIGHT STANDARD
- YARD LIGHT
- ELECTRIC METER
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- ELECTRIC OUTLET
- AIR CONDITIONING UNIT
- LANDSCAPING
- UTILITY POLE (L=LIGHT T=TRANSFORMER)
- GUY WIRE
- CURB INLET
- GRATED INLET
- STORM MANHOLE
- GRATE MANHOLE
- FLARED END SECTION
- DRAINAGE PIPE
- DOWN SPOUT
- SANITARY MANHOLE
- CLEANOUT
- UNKNOWN MANHOLE
- YARD DRAIN
- POLYVINYL CHLORIDE PIPE
- CORRUGATED METAL PIPE
- HANDICAP STRIPING
- PARKING STALLS
- PULL BOX: EPB=ELECTRIC, FOPB=FIBEROPTIC, TSPB=TRAFFIC, TPB=COMMUNICATION
- TRAFFIC SIGNAL POLE
- TRAFFIC MANHOLE
- TRAFFIC CONTROL BOX
- PARKING METER
- GATE CONTROL BOX
- PROPERTY BOUNDARY
- FENCE LINE
- SANITARY SEWER
- STORM SEWER
- WATER LINE (UNDERGROUND)
- ELECTRIC LINE (UNDERGROUND)
- ELECTRIC LINE (OVERHEAD)
- OVERHEAD UTILITY
- GAS LINE (UNDERGROUND)
- TELEPHONE LINE (UNDERGROUND)
- FIBER OPTIC LINE (UNDERGROUND)

**GRADING NOTES**

1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO GRADE TO 6" BELOW FINISHED GRADES IN ALL AREAS TO BE REVEGETATED. SPREAD AT LEAST 6" OF TOP SOIL AND HYDROMULCH FOR PERMANENT VEGETATION. ASSURE POSITIVE DRAINAGE ACROSS ENTIRE SITE AND ALL REGRADED GRASSED AREAS. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
3. ALL EXCESS TOPSOIL AND CUT MATERIAL IS TO BE HAULED OFF AND DISPOSED OF OFF-SITE.
4. TOPSOIL SHALL BE STOCKPILED ONLY AS NECESSARY FOR REPLACEMENT IN NON PAVED AREAS. MAXIMUM HEIGHT SHALL NOT EXCEED 10', AND THE SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1. EXCESS TOPSOIL IS TO BE HAULED OFF SITE AND DISPOSED OF BY THE CONTRACTOR.
5. ALL DEWATERING MEASURES SHALL BE PART OF BASE BID UNLESS OTHERWISE IDENTIFIED ON THE PLANS.
6. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE CONDITIONS DURING ALL CONSTRUCTION PHASES OF THE PROJECT UNTIL THE PERMANENT
7. DRAINAGE FACILITIES ARE CONSTRUCTED AND READY TO USE. HANDLE ALL EXCAVATED AND STOCKPILED MATERIAL IN SUCH A WAY THAT IT WILL NOT BLOCK
8. DRAINAGE OR DAMAGE EXISTING ENVIRONMENTAL ITEMS.
9. THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE ROADWAY SECTIONS, SUBGRADE PREPARATION, AND ANY OTHER ELEVATIONS NOT PART OF THE PROPOSED NATURAL GROUND WHEN MAKING CUT AND FILL CALCULATIONS. ALL GRADING OF PROPOSED NATURAL GROUND SHALL BE GRADED TO DRAIN AND SHALL NOT EXCEED 3:1 SLOPE UNLESS OTHERWISE NOTED ON THE PLANS.
10. ALL EXCAVATION SHALL BE PERFORMED AS DIRECTED IN THE DRAWINGS AND IN COMPLIANCE WITH OSHA STANDARDS.
11. DATA ON SUBSURFACE CONDITIONS IS AVAILABLE TO THE CONTRACTOR FROM THE OWNER UPON REQUEST. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE GEOTECHNICAL EVALUATION REPORT AND SITE RECOMMENDATIONS/REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR REQUESTING ADDITIONAL TEST BORINGS, IF NECESSARY.
12. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
13. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
14. DUST MUST BE ADEQUATELY CONTROLLED.
15. SEE EROSION CONTROL PLAN FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
16. SEE UTILITY PLANS FOR WATER, STORM AND SANITARY SEWER INFORMATION.
17. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS
18. SEE LANDSCAPE PLAN FOR FINAL SITE STABILIZATION.
19. ALL GRADING WORK SHALL BE COORDINATED WITH GRADING FOR THE REHABILITATION PROJECT FOR THE PROPERTY.
20. A PORTION OF THE PROPERTIES LIES WITHIN FEMA ZONE AE PER FIRM PANEL 0195E. THE BASE FLOOD ELEVATION OF ZONE AE WITHIN THE PROPERTY IS 297.00. THERE WILL BE NO BUILDING ENCROACHMENTS OR FILL IN THE FLOOD HAZARD AREA.



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**CONSULTANTS**



**PROJECT TITLE**  
**SANDY CREEK APARTMENTS**

ISSUE #	DATE	DESCRIPTION
1	03/22/2022	SITE PLAN SUBMITTAL

**CERTIFICATION**

**NOT FOR CONSTRUCTION**

DRAWN BY	JBT
CHECKED BY	SRT
COMMISSION NUMBER	XXXX-XXX

**SHEET TITLE**

**OVERALL GRADING PLAN**

**SHEET NUMBER**

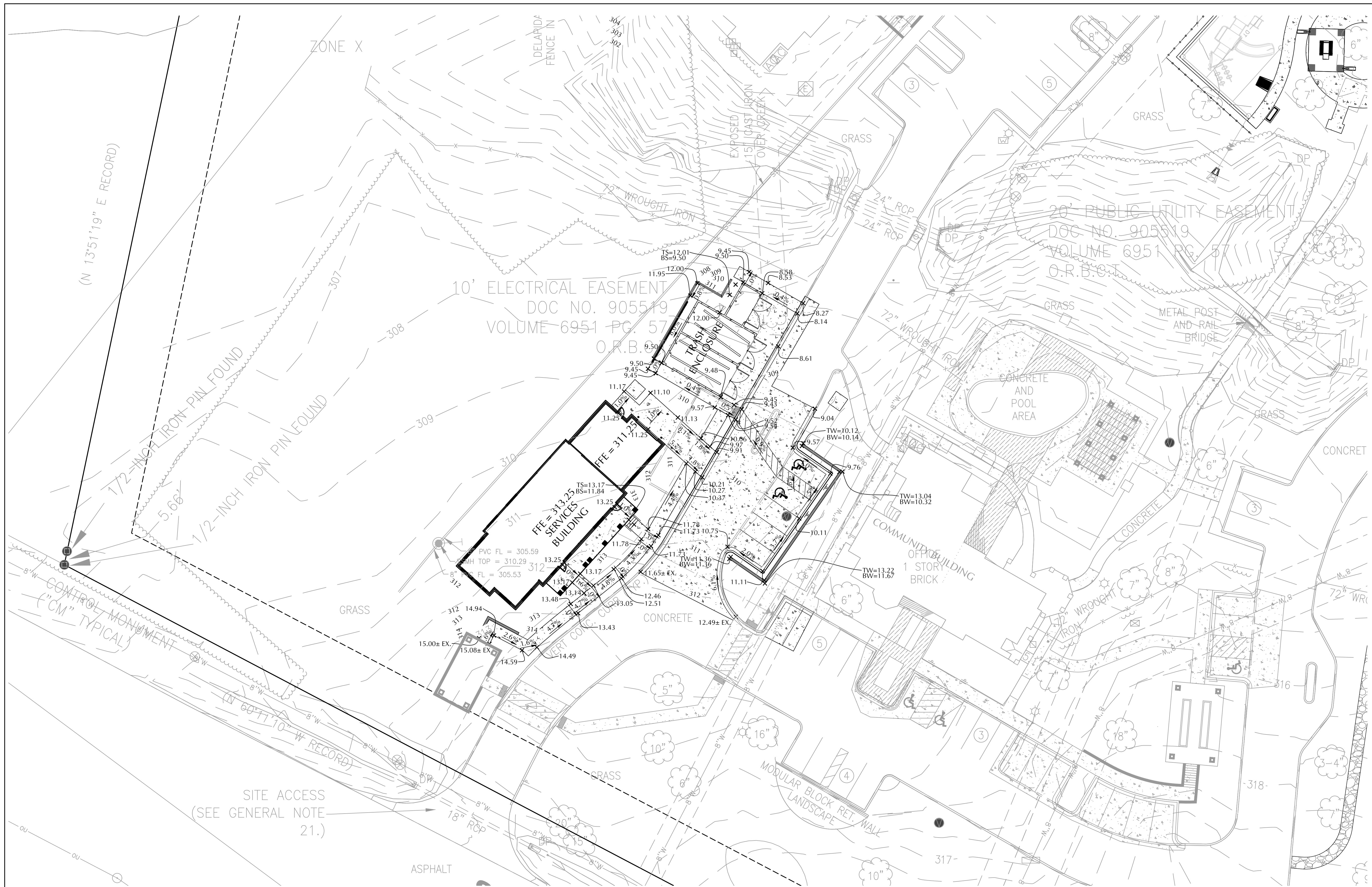
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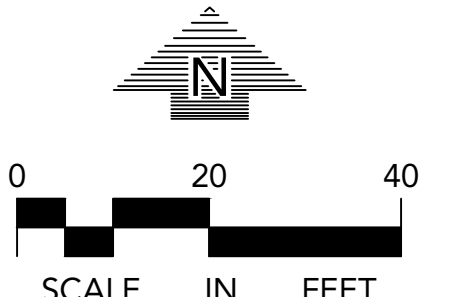
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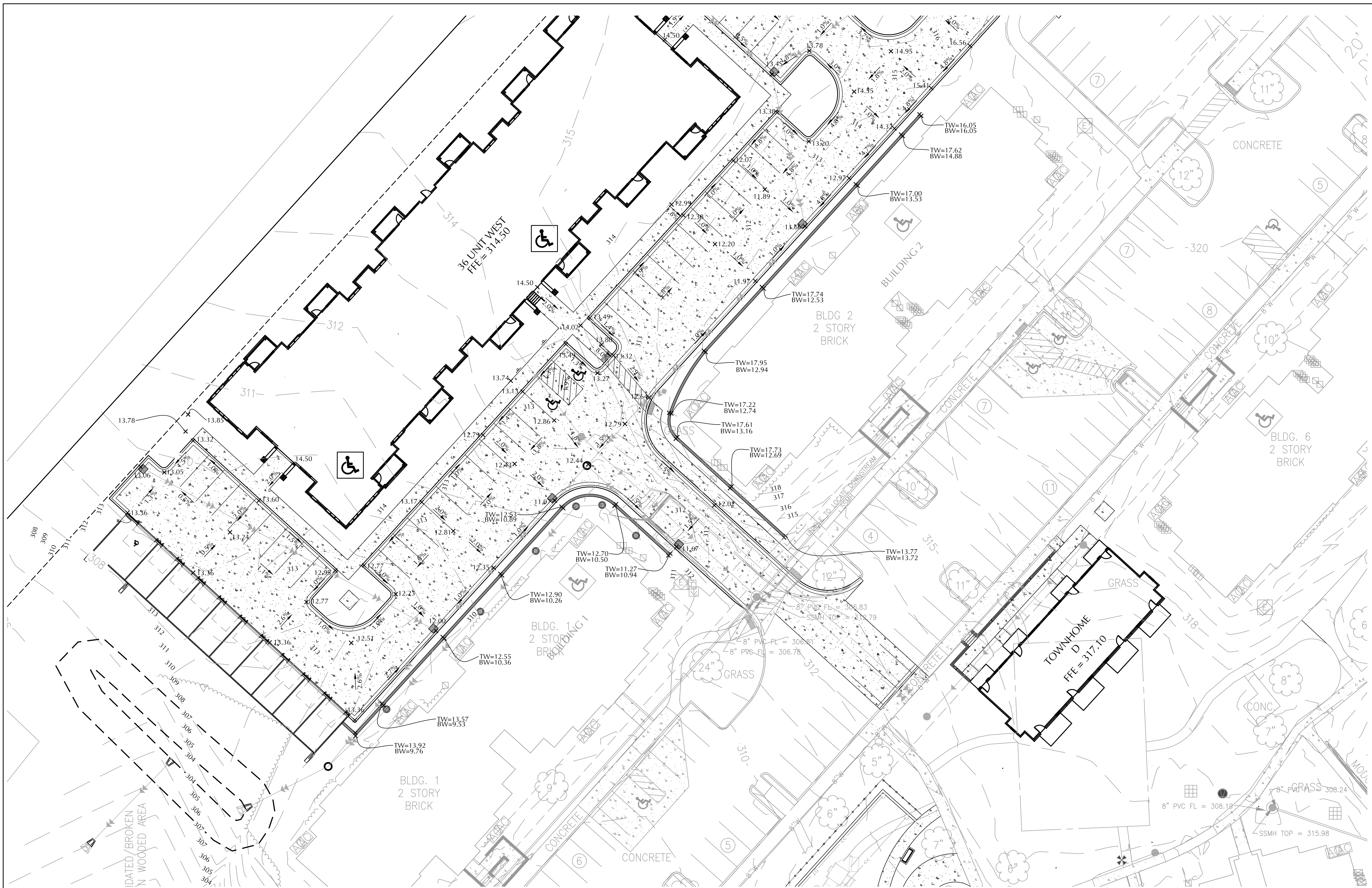
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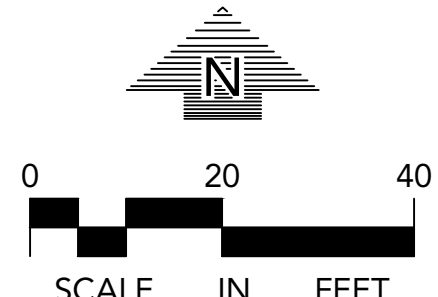
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PROJECT TITLE

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ISSUE #	DATE	DESCRIPTION
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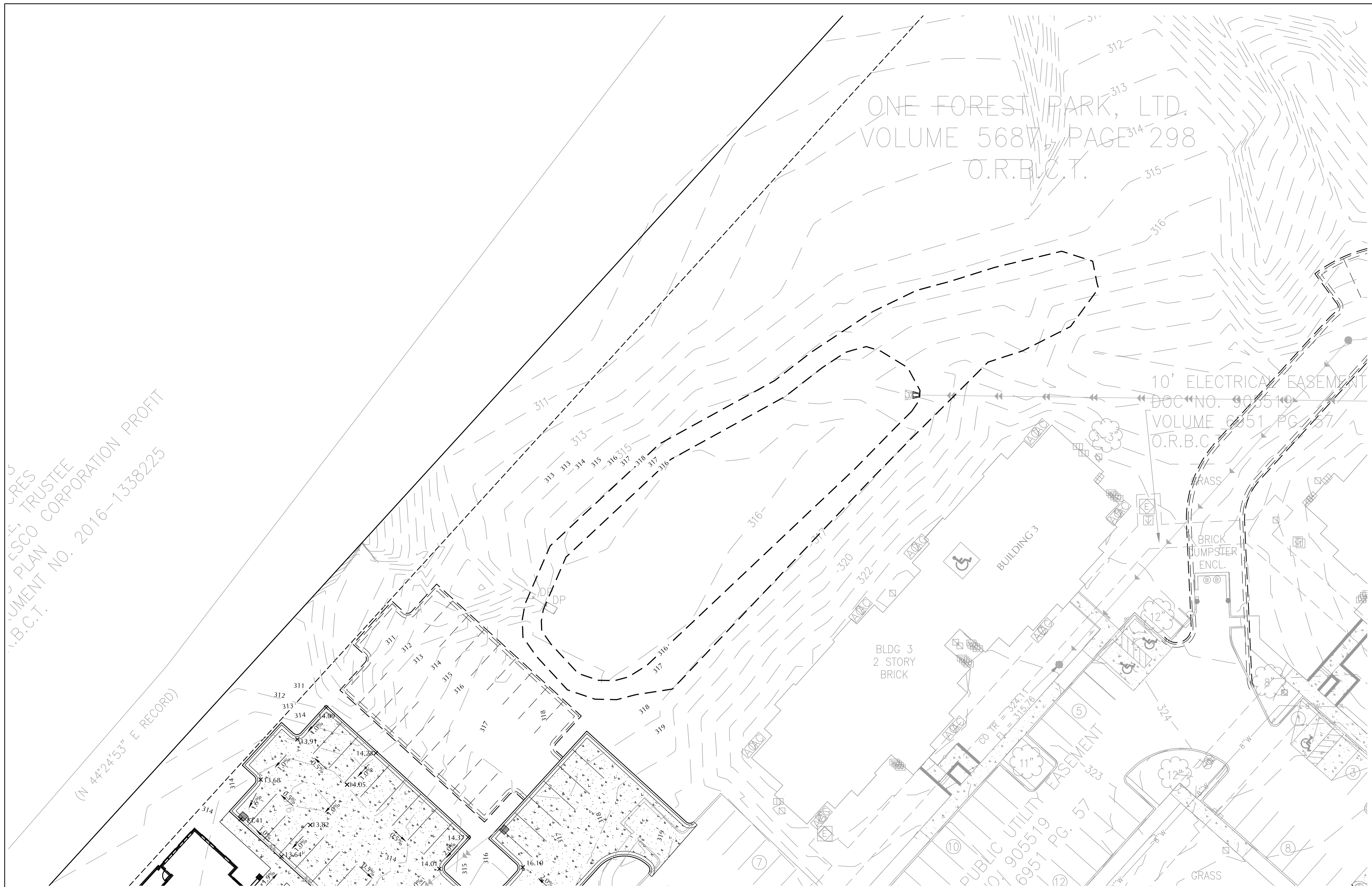
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CHECKED BY	SRT
COMMISSION NUMBER	XXXX-XXX

SHEET TITLE

**GRADING PLAN -  
INSET 3**

SHEET NUMBER

**C3-3**



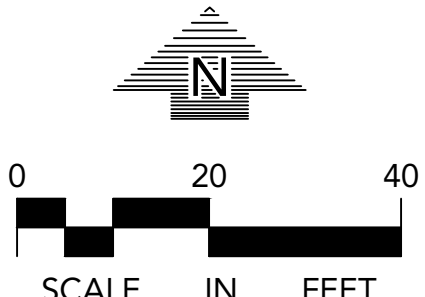
RES TRUSTEE  
PLAN CORPORATION PROFIT  
DOCUMENT NO. 2016-1338225  
B.C.T.

ONE FOREST PARK, LTD.  
VOLUME 568, PAGE 298  
O.R.B.C.T.

10' ELECTRICAL EASEMENT  
DOC NO. 905519  
VOLUME 6951 PG. 57  
O.R.B.C.T.

PUBLIC UTILITY EASEMENT  
905519 PG. 57

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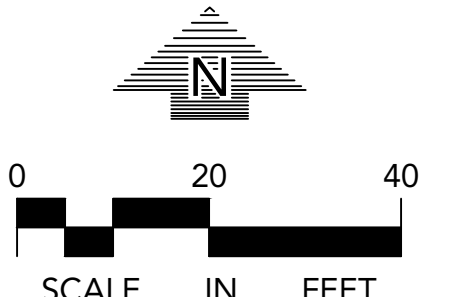
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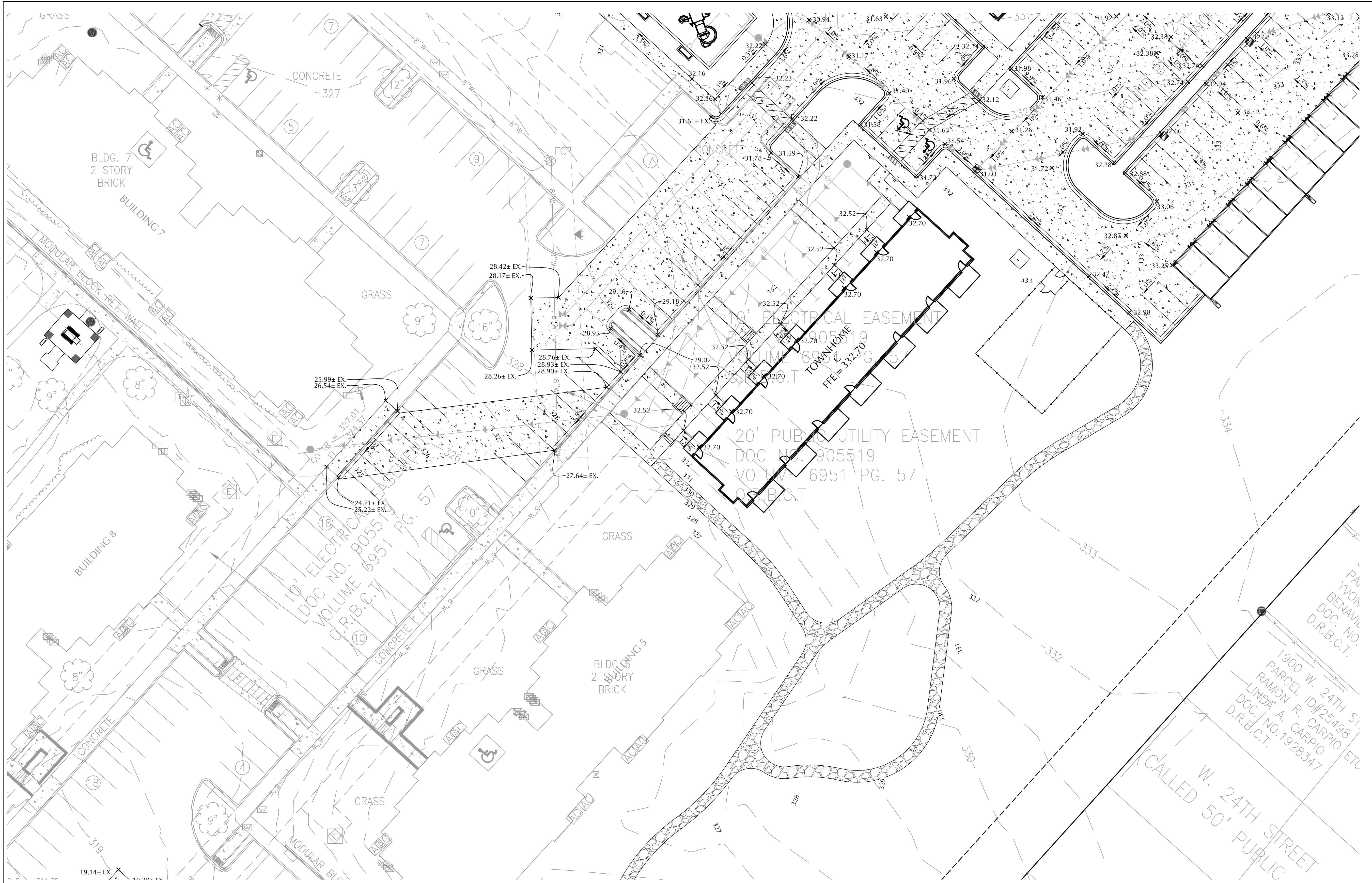


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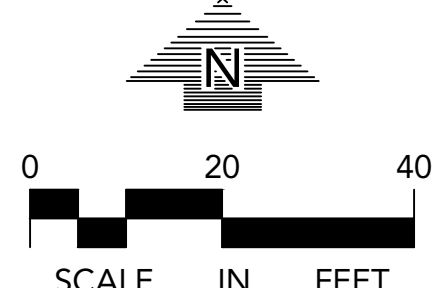
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PROJECT TITLE  
**SANDY CREEK  
 APARTMENTS**

ISSUE #	DATE	DESCRIPTION
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SHEET TITLE

GRADING PLAN -  
 INSET 5

SHEET NUMBER

**C3-5**

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Maple Grove, MN 55369  
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LOUCKS FIRM NO. F-20662  
LOUCKS PROJ. NO. 21560.0A

PROJECT TITLE

**SANDY CREEK  
APARTMENTS**

ISSUE #	DATE	DESCRIPTION
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SHEET TITLE

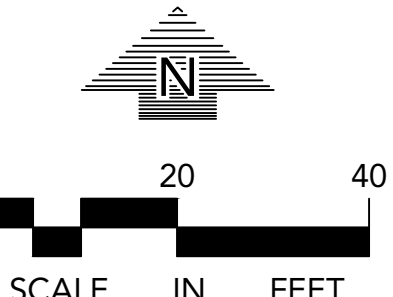
GRADING PLAN -  
INSET 6

SHEET NUMBER

**C3-6**



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CONSTRUCTION**

DRAWN BY	JBT
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**LEGEND**

- CATCH BASIN
- STORM MANHOLE
- FLARED END SECTION
- SANITARY MANHOLE
- HYDRANT
- GATE VALVE
- POST INDICATOR VALVE
- WATER MANHOLE / WELL
- LIGHT POLE
- POWER POLE
- ELECTRIC METER
- GAS METER
- TELEPHONE PEDESTAL
- SIGN
- BENCHMARK
- SOIL BORING
- PARKING STALL COUNT
- ACCESSIBLE PARKING STALL
- STORM SEWER
- DRAINTILE
- SANITARY SEWER
- FORCEMAIN
- WATERMAIN
- SANITARY SEWER SERVICE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTIC
- UNDERGROUND GAS
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- FENCE
- CHAIN LINK FENCE
- CONCRETE CURB
- RETAINING WALL
- CONCRETE
- NO PARKING
- BUILDING
- CONTOUR
- SPOT ELEVATION
- DIRECTION OF FLOW
- TREE LINE
- PARKING SETBACK LINE
- BUILDING SETBACK LINE
- HANDRAIL

**PROPOSED**

- BENCHMARK
- FOUND IRON PIPE
- FOUND IRON ROD
- FOUND CROSS
- FOUND ANCHOR
- FOUND COTTON PICKER SPINDLE
- SET IRON ROD
- CURB CUTS
- CONTROLLING MONUMENT
- TREE
- SPRINKLER CONTROL BOX
- WATER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER FAUCET
- MONITORING WELL
- BOREHOLE
- BOLLARD
- CABLE SPICE BOX
- COMMUNICATION MANHOLE
- COMMUNICATION SPICE BOX
- FIBER OPTIC SIGN
- GAS METER
- GAS VALVE
- GAS DRIP
- SIGN
- DOUBLE POST SIGN
- MAILBOX
- LIGHT STANDARD
- YARD LIGHT
- ELECTRIC METER
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- ELECTRIC OUTLET
- AIR CONDITIONING UNIT
- LANDSCAPING

**SURVEY LEGEND**

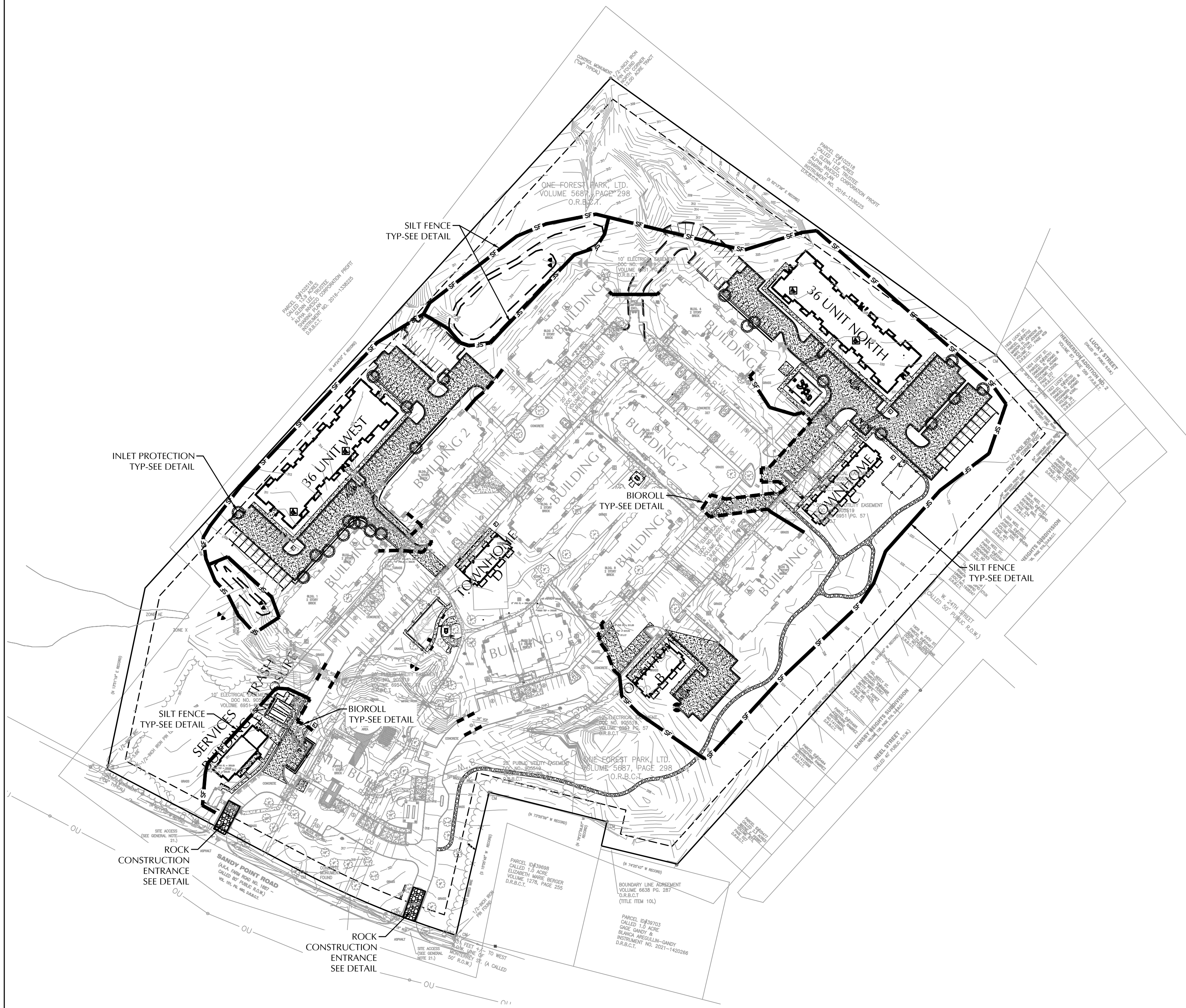
- UTILITY POLE  
(L=LIGHT T=TRANSFORMER)
- GUY WIRE
- CURB INLET
- GRATED INLET
- STORM MANHOLE
- AREA INLET
- GRATE MANHOLE
- FLARED END SECTION
- DRAINAGE PIPE
- DOWN SPOUT
- SANITARY MANHOLE
- CLEANOUT
- UNKNOWN MANHOLE
- YARD DRAIN
- POLYVINYL CHLORIDE PIPE
- CORRUGATED METAL PIPE
- HANDICAP STRIPING
- PARKING STALLS
- PULL BOX: EPB=ELECTRIC  
FOPB=FIBEROPTIC  
TSPB=TRAFFIC  
TPB=COMMUNICATION
- TRAFFIC SIGNAL POLE
- TRAFFIC MANHOLE
- TRAFFIC CONTROL BOX
- PARKING METER
- GATE CONTROL BOX
- PROPERTY BOUNDARY
- FENCE LINE
- SANITARY SEWER
- STORM SEWER
- WATER LINE (UNDERGROUND)
- ELECTRIC LINE (UNDERGROUND)
- ELECTRIC LINE (OVERHEAD)
- OVERHEAD UTILITY
- GAS LINE (UNDERGROUND)
- TELEPHONE LINE (UNDERGROUND)
- FIBER OPTIC LINE (UNDERGROUND)

**EROSION CONTROL LEGEND**

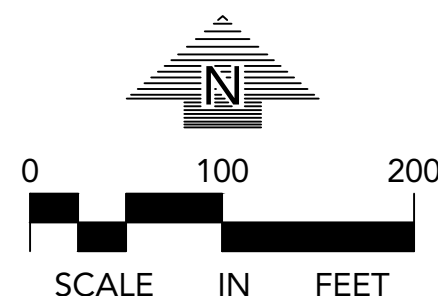
- SILT FENCE
- BIO ROLLS
- INLET PROTECTION
- EXISTING DRAINAGE PATTERN
- PROPOSED DRAINAGE PATTERN
- EROSION CONTROL BLANKET

**ESTIMATED QUANTITIES**

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	2
PREFABRICATED CONCRETE WASHOUT	EA	0
SILT FENCE (STANDARD)	LF	±3,900
EROSION CONTROL BLANKET	SY	0
INLET PROTECTION	EA	23
BIOROLLS	LF	±1,100



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**EROSION CONTROL NOTES**

1. THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING SEVERAL PROPOSED APARTMENT AND TOWNHOME BUILDING, SURFACE PAVEMENTS, AND UTILITIES.
2. THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
  1. INSTALL VEHICLE TRACKING BMP
  2. INSTALL SILT FENCE & BIO ROLLS AROUND SITE
  3. CLEAR AND GRUB SITE
  4. STRIP AND STOCKPILE TOPSOIL
  5. REMOVE PAVEMENTS AND UTILITIES
  6. CONSTRUCT STORMWATER MANAGEMENT FACILITIES
  7. INSTALL SILT FENCE AROUND STORM WATER MANAGEMENT FACILITIES
  8. ROUGH GRADE SITE
  9. IMPORT CLEAN FILL FOR REPLACEMENT AND/OR BALANCE AS NEEDED
  10. INSTALL UTILITIES
  11. INSTALL BUILDING FOUNDATIONS
  12. INSTALL CURB AND GUTTER
  13. INSTALL PAVEMENTS AND WALKS
  14. FINAL GRADE SITE
  15. REMOVE ACCUMULATED SEDIMENT FROM STORMWATER FACILITIES AND STRUCTURES
  16. SEED AND MULCH
  17. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND BIO ROLLS AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
3. SITE DATA:
 

AREA OF DISTURBANCE / PROPERTY AREA:	X AC.
PRE-CONSTRUCTION IMPERVIOUS AREA:	X AC.
POST-CONSTRUCTION IMPERVIOUS AREA:	X AC.

GENERAL SOIL TYPE: SEE GEOTECHNICAL EVALUATION REPORT
4. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (10) OR MORE DAYS SHALL BE STABILIZED OR OTHER EQUIVALENT CONTROL MEASURE TAKEN.
6. ON SLOPES 3:1 OR GREATER MAINTAIN SHEET PILE AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.
7. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
8. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
9. SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
10. IF THE INFILTRATION BASIN IS TO BE USED DURING CONSTRUCTION, THE CONTRACTOR SHALL ONLY PARTIALLY EXCAVATE AND LEAVE THE BASIN 2 FEET ABOVE FINISHED ELEVATION.
11. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH LOCAL DISPOSAL REQUIREMENTS.
12. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
13. NO ENGINE DEGREASING IS ALLOWED ON SITE.
14. THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART II.C, PART II.B-F, PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
15. TERMINATION OF COVERAGE PERMITTEES WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT). ALL PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
  - A. FINAL STABILIZATION, PER NPDES PERMIT PART IV.G, HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
  - B. TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
16. INSPECTIONS
  - A. INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS
17. MINIMUM MAINTENANCE
  - A. SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
  - B. SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
  - C. SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7) SEVEN DAYS
  - D. CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
  - E. PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS
18. THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THE SITE.
19. OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
20. SWPPP MUST BE AMENDED WHEN:
  - A. THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
  - B. INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
  - C. THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
21. CONCRETE WASHOUT AREA
  - A. CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
  - B. CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFILL"
  - C. CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
22. IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
23. PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
24. FINAL STABILIZATION
 

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
25. RESPONSIBILITIES
  - A. THE OWNER MUST IDENTIFY A PERSON WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:
 

CONTACT: \_\_\_\_\_

COMPANY: \_\_\_\_\_

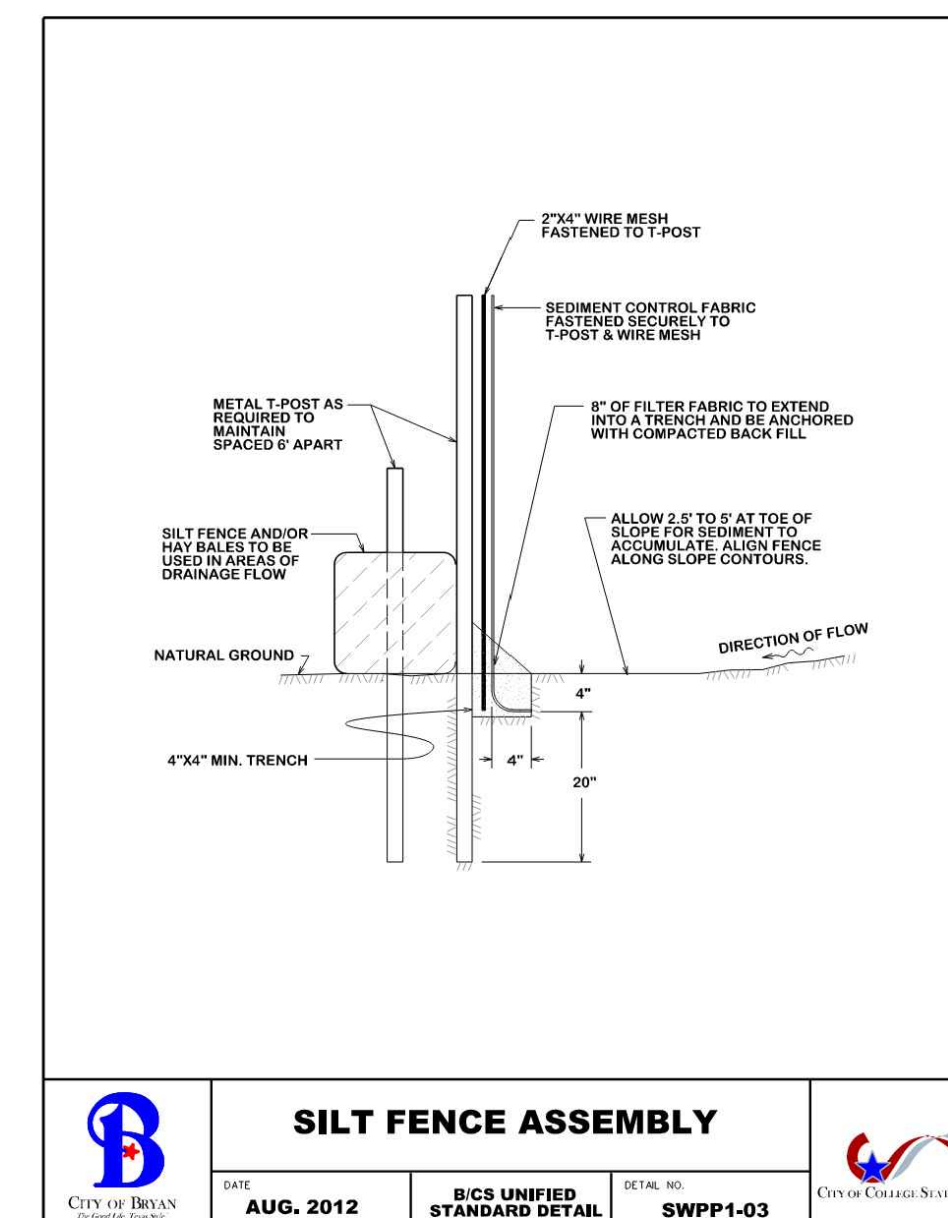
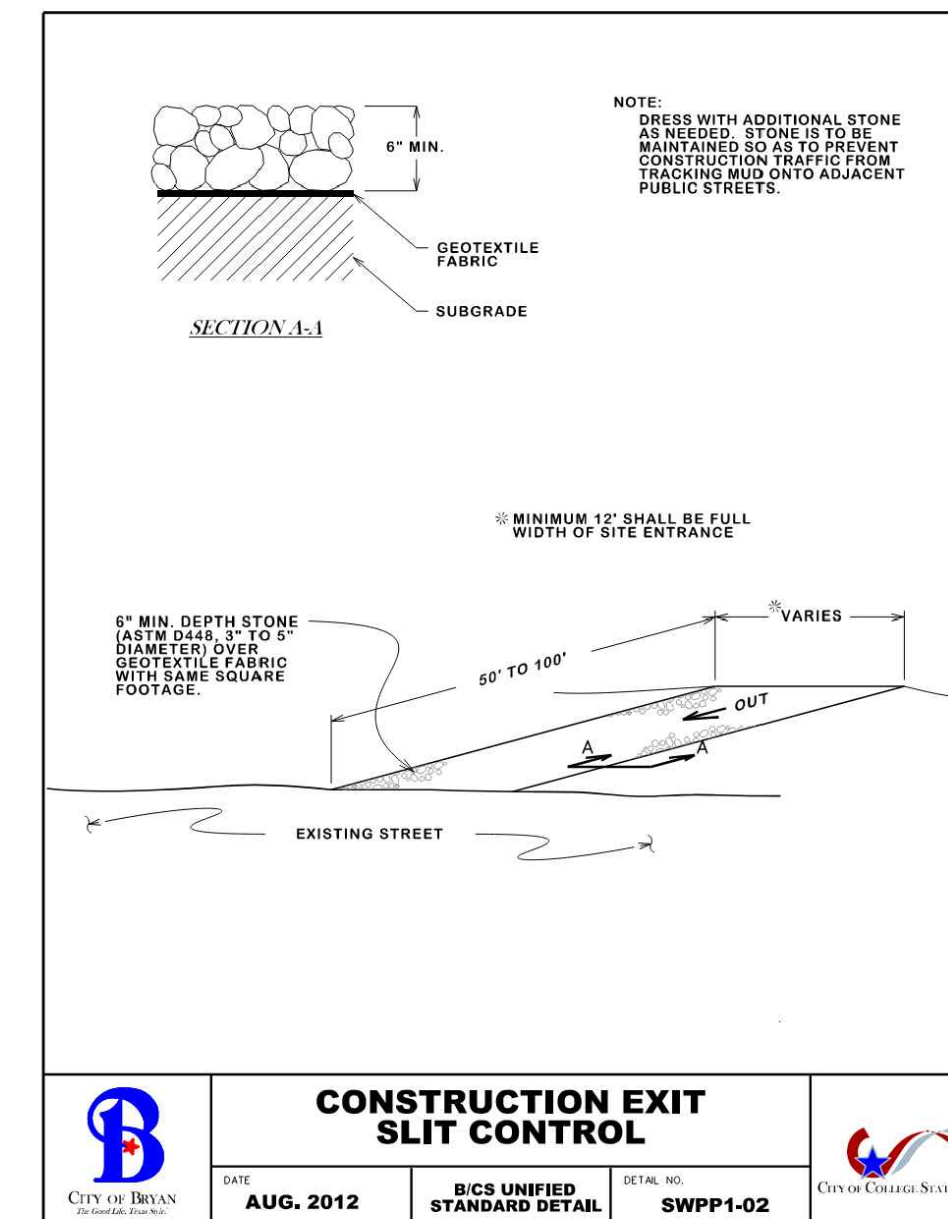
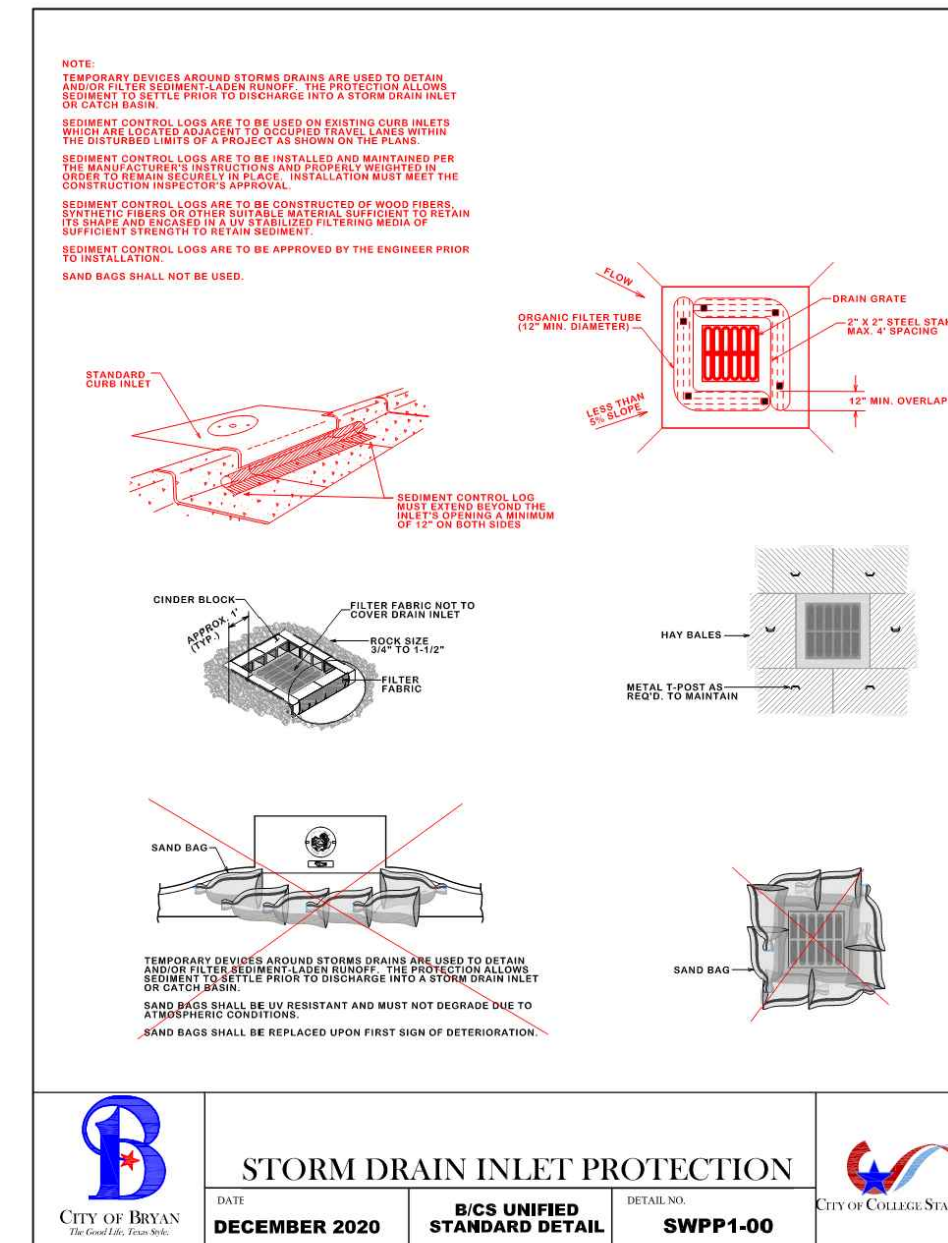
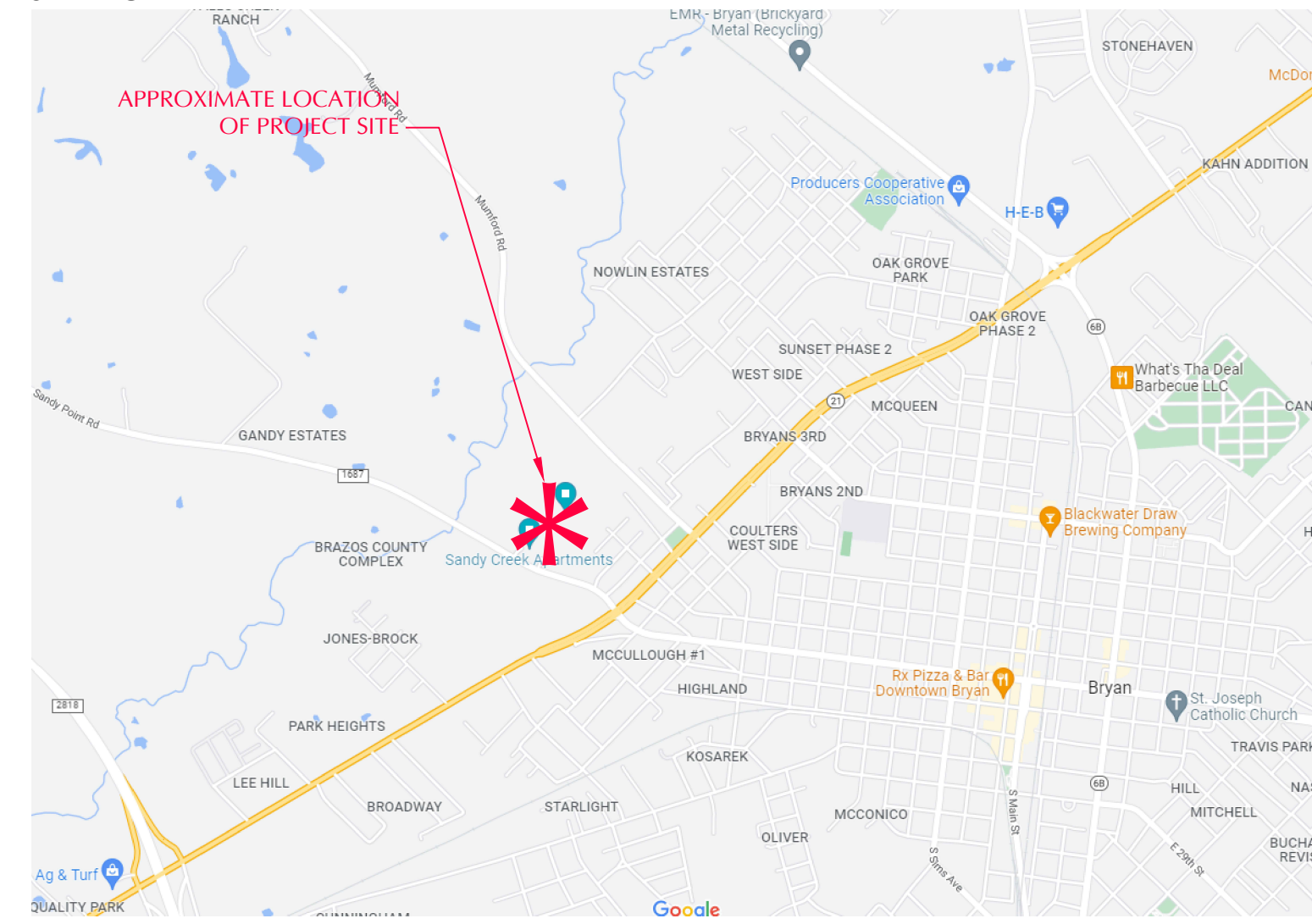
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  - B. THE OWNER MUST IDENTIFY THE PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM:
 

CONTACT: \_\_\_\_\_

COMPANY: \_\_\_\_\_

PHONE: \_\_\_\_\_
26. THE CITY OR STATE MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMP'S.

**SITE VICINITY MAP**



**CONSULTANTS**



**PROJECT TITLE**

**SANDY CREEK APARTMENTS**

ISSUE #	DATE	DESCRIPTION
1	03/22/2022	SITE PLAN SUBMITTAL

**CERTIFICATION**

**NOT FOR CONSTRUCTION**

DRAWN BY	JBT
CHECKED BY	SRT
COMMISSION NUMBER	XXXX-XXX

**SHEET TITLE**

**EROSION CONTROL PLAN NOTES**

**SHEET NUMBER**

**C3-8**